

PART 6

“TN” TRADITIONAL NEIGHBORHOOD ZONING DISTRICT

Section 601. Purpose.

This zoning district is generally comprised of those distinctive neighborhoods of the borough where traditional building and development patterns are predominant. These areas are noted because of their unique building and development characteristics including a desirable mixture of a variety of residential dwelling types and compatible neighborhood oriented and supported businesses and public uses in close proximity; multi-story buildings with front porches and orientation toward and abutting the sidewalk; lots with narrower widths and setbacks accessed from alleys; street trees, tree lawns, and sidewalks. This zoning district seeks to protect and enhance these important traditional neighborhoods by providing general and specific design compatibility and performance standards helping to ensure similar compatible use, reuse, replacement, and infill development.



Section 602. Permitted Uses.

- A. See Table 3-3 in Section 304 relating to *Use Tables* for uses permitted by right, conditional use, and/or special exception in this Mixed Use District.

Section 603. Area and Design Requirements.

- A. See Table 6-1 in this Section relating to *Area and Design Requirements* for the area and design requirements for all development activities and uses. Additionally, all development activities and uses shall be compatible in character, design, height, scale, setback, orientation, lot access, and off-street parking with adjacent and nearby buildings / structures and development on abutting lots as well as lots on the same shared block face (between two [2] intersecting streets) along the same side of the street. Although required in Tables 6-1 and 6-2 in this Section relating to *Area and Design Requirements* and *Additional Development Compatibility Standards* respectively referring to certain development compatibility design requirements set forth in Part 11 of this Chapter relating to *Development Compatibility Standards Overlay Zoning District (DCSO)*, applicants for new development and uses may, and are strongly encouraged, to utilize the other development compatibility design guidelines and standards set forth in Part 11 of this Chapter relating to *Development Compatibility Standards Overlay Zoning District (DCSO)*.

TABLE 6-1  
AREA AND DESIGN REQUIREMENTS

AREA / DESIGN FEATURES	PERMITTED USES				
	Single Family Detached Dwelling	Single Family Semi-Detached Dwelling	Two Family Detached Dwelling	Other Permitted Uses (Unless Specifically Listed in Part 16)	Accessory use or structure (other than specified elsewhere this Chapter including Parts 12 – 14, 16 of this Chapter)
Lot Area Per Unit - Minimum	4,000 sq. ft. per DU	3,500 sq. ft. per DU	4,000 sq. ft. per DU	4,000 sq. ft.	N/A
Minimum Lot Width at Front Lot Line – Interior Lot	40 ft.	35 ft.	70 ft.	45 ft.	N/A

AREA / DESIGN FEATURES	PERMITTED USES				
	Single Family Detached Dwelling	Single Family Semi-Detached Dwelling	Two Family Detached Dwelling	Other Permitted Uses (Unless Specifically Listed in Part 16)	Accessory use or structure (other than specified elsewhere this Chapter including Parts 12 – 14, 16 of this Chapter)
Minimum Lot Width at Front Lot Line - Corner Lot	55 ft.	50 ft.	85 ft.	55 ft.	N/A
Setback - Front Minimum / Maximum	If abutting lots are developed, See Section 1104.F.	If abutting lots are developed, See Section 1104.F.	If abutting lots are developed, See Section 1104.F.	If abutting lots are developed, See Section 1104.F.	Not permitted to be located between the principal building and the public street.
	Otherwise, 10 ft. min. / 20 ft. max.	Otherwise, 10 ft. min. / 20 ft. max.	Otherwise, 10 ft. min. / 20 ft. max.	Otherwise, 10 ft. min. / 20 ft. max.	
Setback – Side - Minimum	5 ft. each side.	5 ft. except, 0 ft. at the shared lot line of lawfully attached dwellings constructed with a shared common party wall and provides the notarized, written consent of the owner of the abutting lot and building.	5 ft. each side.	5 ft., except 0 ft. at the shared lot line of lawfully attached buildings or uses constructed with a shared common party wall and provides the notarized, written consent of the owner of the abutting lot and building.	3 ft.
Setback – Rear Minimum	15 ft.	15 ft.	15 ft.	15 ft.	3 ft., except that detached garages adjacent to and having access to an alley, shall be setback 5 ft. from the right-of way or 15 ft. from the centerline of the alley, whichever is greater.
Impervious Lot Coverage - Maximum	50%	55%	50%	75%	Included as part of total maximum impervious coverage.
Vegetative Coverage - Minimum	20%	20%	20%	20%	Included as part of total minimum vegetative coverage.
Building Height - Minimum / Maximum	If abutting lots are developed, See Section 1104.G.	If abutting lots are developed, See Section 1104.G.	If abutting lots are developed, See Section 1104.G.	If abutting lots are developed, See Section 1104.G.	25 ft. or not higher than the principal structure, whichever is less.
	Otherwise, 2 stories min. or 24 ft. min. / 40 ft. max.	Otherwise, 2 stories min. or 24 ft. min. / 40 ft. max.	Otherwise, 2 stories min. or 24 ft. min. / 40 ft. max.	Otherwise, 2 stories min. or 24 ft. min. / 40 ft. max.	

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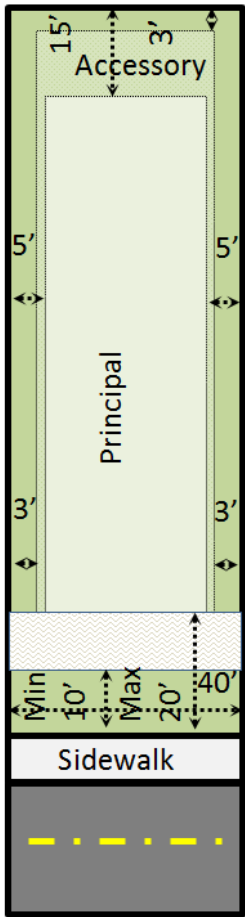


Figure 6.1  
Typical Area / Design Features Single-Family Detached Dwelling Example  
(Abutting Lots Not Developed)  
(Not Drawn to Scale)

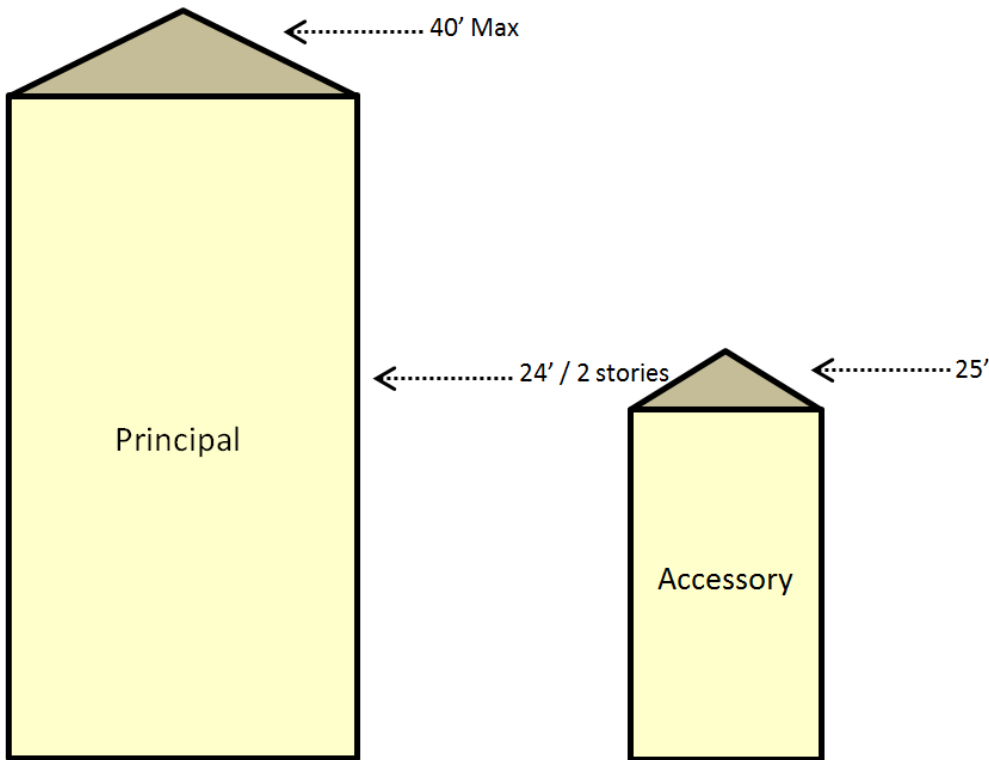


Figure 6.2 Typical  
Building Height  
Example (Abutting  
Lots Not Developed)  
(Not Drawn to Scale)

- B. Additional Development Compatibility Standards
1. See Table 6-2 in this Section relating to *Additional Development Compatibility Standards* and the specific subsections of Part 11 of this Chapter relating to *Development Compatibility Standards Overlay Zoning District (DCSO)* for additional standards for development activities and uses.

TABLE 6-2  
ADDITIONAL DEVELOPMENT COMPATIBILITY STANDARDS

Development Compatibility Design Standard	Subsection of 1104	Applicability of Development Compatibility Design Standard
Front Building Setback	1104.F.	Yes
Building Height	1104.G.	Yes
Building Orientation	1104.H.	Yes
Building Façade	1104.I.	Yes
Building Roof	1104.J.	Yes
Reuse of Existing or Formerly Residential Building	1104.K.	Yes
Building Footprint	1104.L.	Yes
Fire Escape	1104.M.	Yes
Lot Access and Parking	1104.N.	Yes
Residential Garage Location & Design	1104.O.	Yes
Non-Residential Uses within an Enclosed Building	1104.P.	Yes

**Section 604. Compliance with General Regulations.**

- A. Additionally all development activities and uses within this zoning district shall comply with all applicable general standards of this Chapter including but not limited to:
- 1. Part 12 General Regulations.
  - 2. Part 13 Sign Regulations.
  - 2. Part 14 Lot Access, Parking, and Loading Regulations.

**Section 605. Overlay Zoning Districts.**

- A. If located within or affected by the following overlay zoning districts, development activities and uses shall comply with the requirements of the applicable overlay zoning district provisions set forth in Part 11 of this Chapter relating to Overlay Zoning District:
- 1. Section 1103 FPO Floodplain Overlay Zoning District.
  - 2. Section 1104 DCSO Development Compatibility Standards Overlay Zoning District (see also Section 603.B of this Chapter).